

Designation of Neighbourhood Area – Martock Parish

<i>Executive Portfolio Holder:</i>	<i>Angie Singleton, Strategic Planning (Place Making)</i>
<i>Strategic Director:</i>	<i>Rina Singh, Strategic Director, Place and Performance</i>
<i>Assistant Director:</i>	<i>Martin Woods, Assistant Director Economy</i>
<i>Service Manager:</i>	<i>Paul Wheatley, Principal Spatial Planner</i>
<i>Lead Officer:</i>	<i>Jo Wilkins, Policy Planner</i>
<i>Contact Details:</i>	<i>Jo.wilkins@southsomerset.gov.uk or (01935) 462588</i>

Purpose of the Report

The purpose of this report is to seek the formal designation of Martock Parish Neighbourhood Area in accordance with The Neighbourhood Planning (General) Regulations 2012.

Public Interest

Neighbourhood Plans were introduced by the Localism Act 2011 and the process for producing them is set out in 'The Neighbourhood Planning (General) Regulations 2012'. A Neighbourhood Plan is a community-led framework for guiding the future development, regeneration and conservation of a Parish (or group of parishes). It may contain a vision, aims, planning policies, proposals for improving the area or providing new facilities, or allocation of key sites for specific kinds of development. It can deal with a wide range of social, economic and environmental issues (such as housing, employment, heritage and transport) or it may focus on one or two key local issues only.

Recommendation(s)

That the District Executive:

- a) designate the Civil Parish of Martock as a Neighbourhood Area for the purposes of preparing a Neighbourhood Plan as set out in the Localism Act 2011.
- b) note the change in the level of financial support to Local Planning Authorities supporting the preparation of Neighbourhood Plans.

1. Background

- 1.1. Neighbourhood Plans were introduced by the Localism Act 2011 and the process for producing them is set out in 'The Neighbourhood Planning (General) Regulations 2012'.
- 1.2. At District Executive on 7 March 2013 members considered a report to seek their approval of the proposed approach to Neighbourhood Planning at South Somerset District Council and to inform them of the outcomes of the Town and Parish Council workshops held at the end of 2012. At the meeting the District Executive resolved to agree:
 - the decision on designation of a neighbourhood area would be considered by District Executive Committee where:-
 - There are a significant number of businesses operating in the area;
 - The area overlaps with an existing neighbourhood area;

- The community relies on a much wider population or facilities in a neighbouring area;
 - Local Plan allocations or directions for growth extend into the proposed area;
 - There have been significant issues raised through the consultation process
 - that in all other instances the decision to approve a neighbourhood area would be delegated to the Assistant Director (Economy) in consultation with the relevant affected and adjacent Ward Members and Portfolio Holder.
- 1.3. On 9 February 2015 the 'Neighbourhood Planning (General) (Amendment) Regulations' came into force. They require Neighbourhood Areas (NA) to be designated within set time periods, which are:
1. Where a NA application falls across two or more Local Planning Authorities (LPA) the designation must be decided within 20 weeks of the date immediately following the date on which the application is first publicised. In cases such as this the consultation period is at least 6 weeks.
 2. Where the relevant body is the Parish Council and the application relates to the whole parish, the designation must be decided within 8 weeks from the date immediately following the date the application is first publicised. The consultation period in this instance is a minimum of 4 weeks.
 3. In all other cases the designation must be decided within 13 weeks from the date immediately following the date the application is first publicised. In cases such as this the consultation period is at least 6 weeks.

2. Martock's Application to be Designated a Neighbourhood Area

- 2.1. Regulation 5 of The Neighbourhood Planning (General) Regulations 2012 requires that where a "relevant body" (i.e. the Parish or Town Council) makes an application to the LPA for designation of a neighbourhood area it must include the following:
- A map showing the area the application relates to;
 - A statement explaining why it is appropriate to be designated a neighbourhood area;
 - A statement that the organisation making the application is a relevant body (for the purposes of section 61G of the Town and Country Planning Act 1990).
- 2.2. Martock Parish Council provided SSDC with the required information in January 2016, and the Martock NA application was duly advertised for consultation from 17 February 2016 until 17 March 2016. The Martock NA application documents are attached as Appendix A (this includes the map produced by SSDC).
- 2.3. Martock's NA application was made by the Parish Council and relates to the whole parish; and therefore their application must be decided within 8 weeks (by 13th April 2016).
- 2.4. As the parish of Martock has an allocation in the adopted Local Plan in line with the procedure agreed by District Executive in March 2013 the decision to designate the Martock neighbourhood area is being brought before them.

- 2.5. One response to the neighbourhood area consultation application was received this was from the MOD who confirmed that they have no concerns subject to any development being not higher than 91.4m above ground level.

3. Next Steps

- 3.1. Once the decision has been made to designate a NA, the LPA must publicise that information on their website and in any other manner they think is likely to bring the decision to the attention of the people who live and work in the application area. Martock Parish Council would then resource and produce their neighbourhood plan and the District Council will provide support as per the statutory guidance set out in paragraph 15.2 of the March 2013 report to District Executive. In the event that an application should be refused the Local Planning Authority would have to publish their reasons why and give details of where the decision documentation can be seen.

4. Financial Implications

- 4.1. In March 2016, DCLG wrote to LPAs advising them of the updated arrangements for financial support for neighbourhood planning in 2016/17.
- 4.2. Government are continuing to provide support for those communities who choose to prepare neighbourhood plans in the form of grants of up to £9,000. This figure remains the same going forward.
- 4.3. However, the financial support given to LPAs in order to help cover their legislative duties in relation to neighbourhood planning has been significantly reduced.
- 4.4. First of all, LPAs are now only able to claim financial support for designating a maximum of five NAs. South Somerset has already reached this maximum number. So, from now on, the District Council will no longer be able to claim the £5,000 available for designating new NAs. This will have an effect on resource planning within the Spatial Policy team looking to the future.
- 4.5. In addition, financial support has been reduced when dealing with existing NAs / Neighbourhood Plans. This will affect how South Somerset deals with the existing five Neighbourhood Plans that are being progressed, and the Martock Neighbourhood Plan as it progresses.
- 4.6. Previously, the District Council could expect to receive a total of £30,000 per Neighbourhood Plan if it was finalised and 'made' (adopted). This figure is now reduced to a maximum of £25,000 for those Neighbourhood Plans already being dealt with this is because the District Council can now no longer claim £5,000 when the Neighbourhood Plan is submitted to them prior to the examination.
- 4.7. Also, the terms upon when the remaining financial contributions are paid to the District Council have changed. The largest payment of £20,000 is now only triggered when a date for a referendum on a Neighbourhood Plan has been set; rather than on the successful completion of an examination into the Neighbourhood Plan. This means that the receipt of financial contributions will be later in the Neighbourhood Plan-making process.
- 4.8. Looking to the future, for all new Neighbourhood Area Designations / Neighbourhood Plans, the Council will only be able to claim a maximum of £20,000.

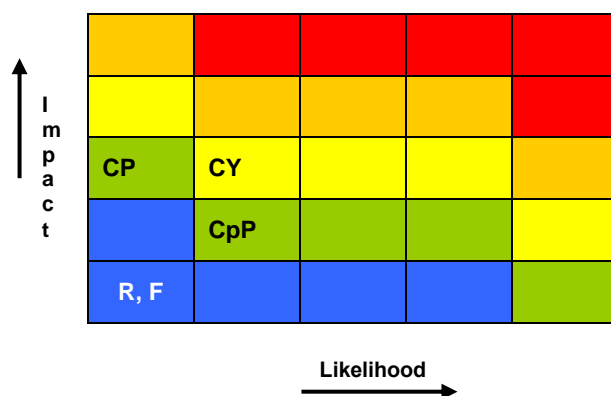
4.9. These changes are summarised in the table below.

PAYMENT STAGE	OLD SYSTEM	NEW SYSTEM FOR CURRENT NPs IN SOUTH SOMERSET (MAXIMUM OF 5)	NEW SYSTEM FOR ALL FUTURE NPs IN SOUTH SOMERSET
1	Designate Neighbourhood Area (£5,000).	Designate Neighbourhood Area (£5,000)	N/A
2	Community Submits NP to LPA (£5,000)	N/A	N/A
3	NP passes Examination (£20,000)	Date set for Referendum (£20,000)	Date set for Referendum (£20,000)
TOTAL	£30,000	£25,000	£20,000

4.10. These changes to the level of financial support will have a significant bearing on the Council and the Spatial Policy team, especially now that the maximum number of Neighbourhood Area Designations has been reached.

4.11. Should the District Council receive a substantial increase in the volume of parishes looking to progress Neighbourhood Plans and become designated NAs, then a corporate decision about how best to deal with this workload will be required. Given there will be no direct financial support for the designation process and a general reduction overall, the knock-on implications for resources taken up within the Spatial Policy team will need to be considered.

Risk Matrix



Key

Categories	Colours (for further detail please refer to Risk management strategy)
R = Reputation	Red = High impact and high probability
CpP = Corporate Plan Priorities	Orange = Major impact and major probability
CP = Community Priorities	Yellow = Moderate impact and moderate probability
CY = Capacity	Green = Minor impact and minor probability
F = Financial	Blue = Insignificant impact and insignificant probability

Corporate Priority Implications

Focus Four: Health and Communities of the Council Plan – Our Plan – Your Future 2012 to 2015 includes the following action:

Assist Queen Camel to complete their Neighbourhood Development plan and use the lessons from this pilot scheme to help other communities to develop their plans.

The lessons learned from working with Queen Camel on their Neighbourhood Planning process can be applied when working with Martock where applicable.

Carbon Emissions and Climate Change Implications

None

Equality and Diversity Implications

It will be the responsibility of the Parish Council to ensure that Equality considerations are embedded within the Neighbourhood Plan

Background Papers

Report to District Executive on Neighbourhood Plans, March 2013.

Appendix A: Neighbourhood Area Application Documents



MARTOCK PARISH COUNCIL

Parish Clerk: Tanya Cant

Ack: RS (26.1.16)

Martock Parish Council
The Market House
Church Street
Martock
Somerset
TA12 6JL

Telephone: 01935 822891
07506 286382
Email: clerk@martock.org.uk

Mrs Rina Singh
Acting Chief Executive
South Somerset District Council
Brympton Way
Yeovil
BA20 2HT

22 January 2016

Dear Mrs Singh,

Neighbourhood Planning (General) Regulations Part 2(5)

On behalf of Martock Parish Council, I would like to confirm that the Council wishes to make an application under the Neighbourhood Planning Regulations 2012 for the designation of the Parish of Martock as a Neighbourhood Area for the Martock Neighbourhood Plan.

Please find attached a map showing the extent of the Parish, which constitutes the entire Parish of Martock. The Parish is considered to be the appropriate designated area because it is a well recognised and properly constituted area, entirely within the remit of the Parish Council. This was also the area used for Martock's Local Community Plan 2012, which was accepted and referenced by the District Council.

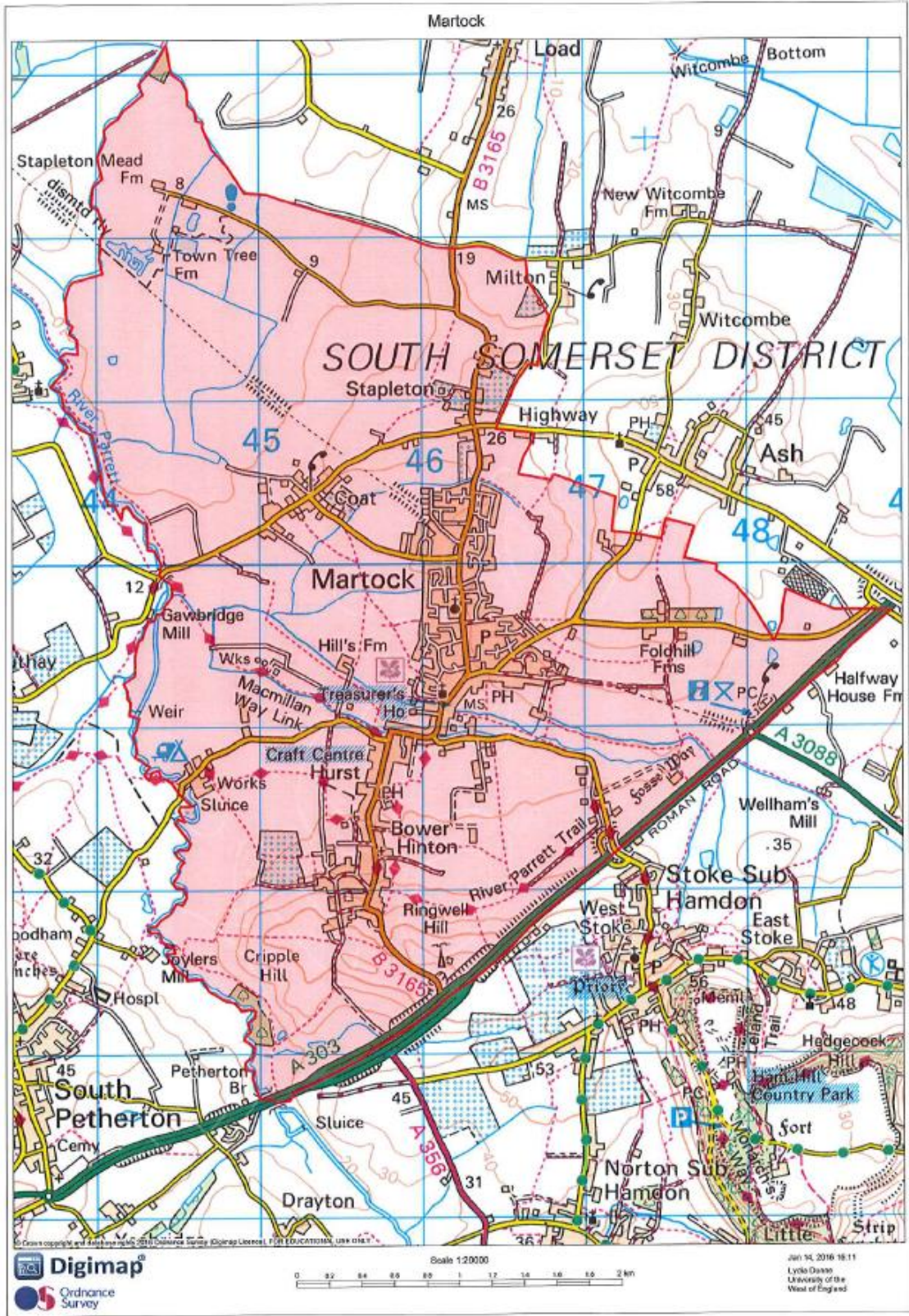
Martock Parish Council is a 'relevant body' for the purposes of section 61G of the 1990 Town and County Planning Act.

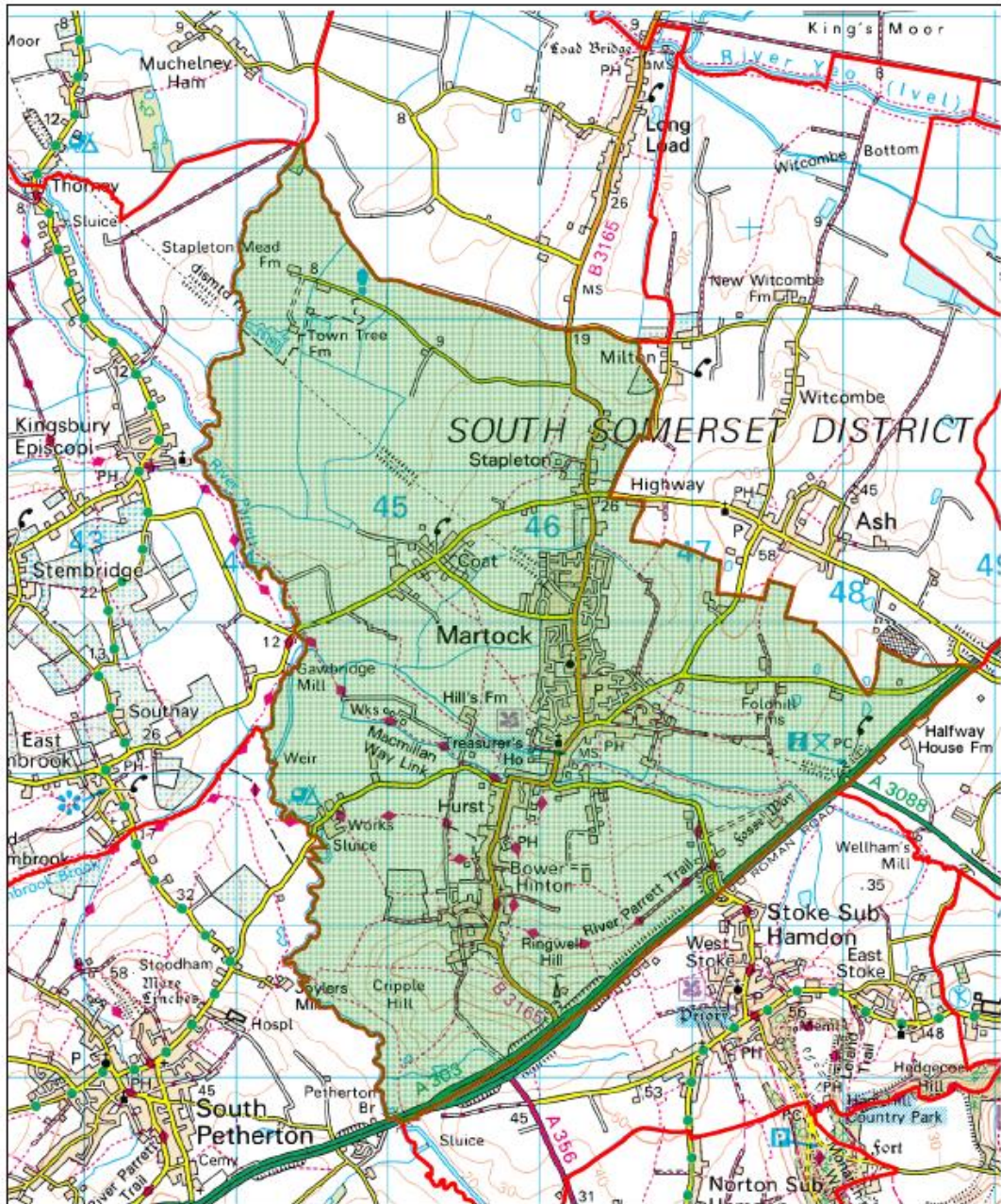
Martock Parish Council hopes that by undertaking a Neighbourhood Plan, they will gain a better understanding of the needs and wishes of the community and that by establishing Martock's Community Rights, as detailed in the Localism Act 2011, they will play a significant role in decision making about the future development of the Parish.

Kind regards,

Tanya Cant
Parish Clerk







Name of neighbourhood area: Martock Neighbourhood Area

1:12,000

Area application date: January 2016

Organisation who made the application: Martock Parish Council



 Proposed Neighbourhood Area
 Parish Boundary



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